

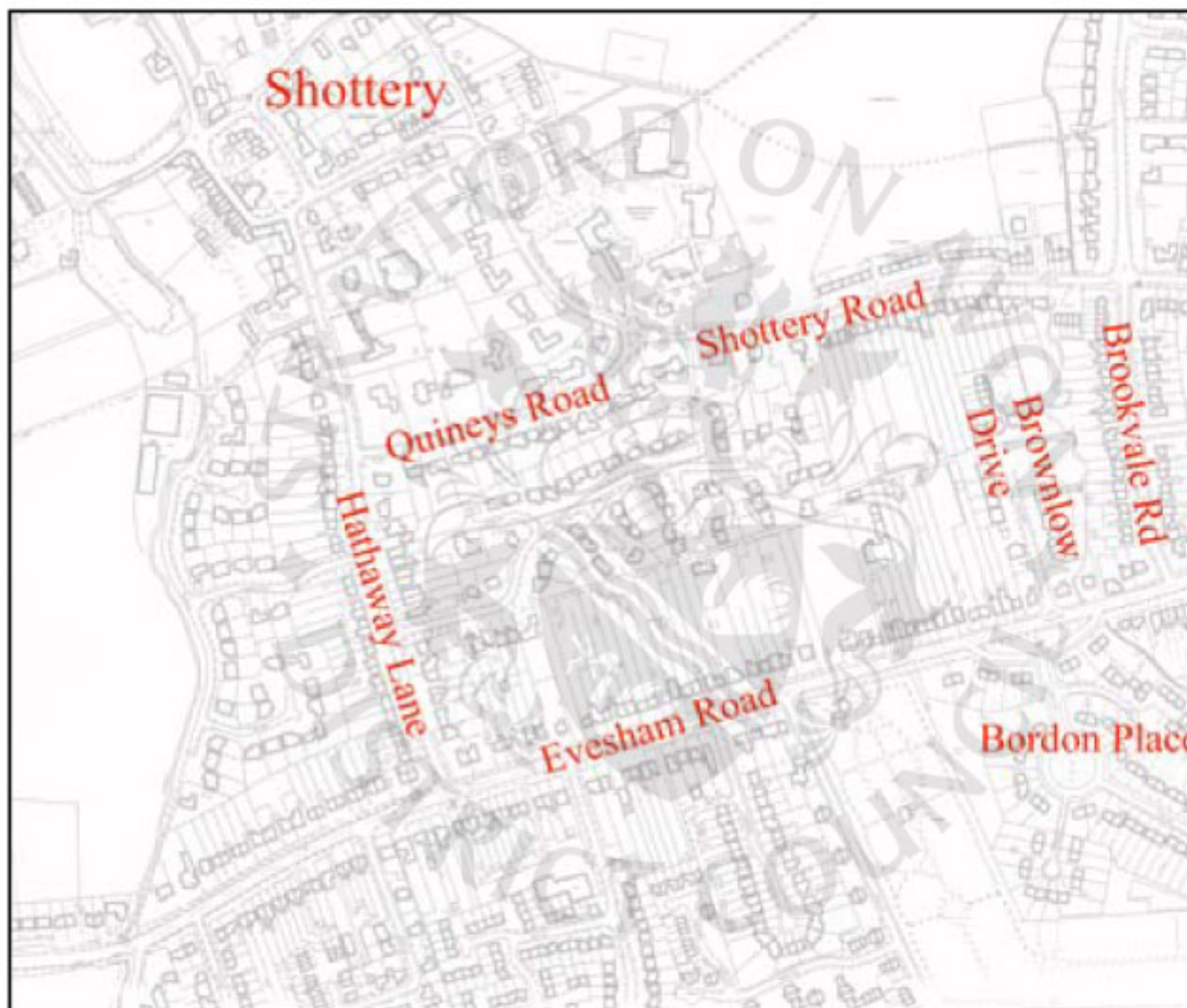
Evesham Road area Character Study

1 Context

The Evesham Road is a significant entrance route to the town from the west. The study area ends at the edge of the urbanised built-up area. Immediately to the north is Shottery, a historically-significant village (site of Anne Hathaway's cottage, a major tourist destination) and a conservation area. To the south is the racecourse.



Plate 1: Aerial view of study area
Image from Stratford upon Avon District Council



Map 1: Principal streets

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2 Site and setting: introduction

2.1 Location within settlement; routes etc

The B439 Evesham Road leads out towards the Vale of Evesham, an important agricultural area specialising in market gardening and fruit growing, and the market town of Evesham. It is a busy main road. Shottery is to the north, and there is considerable traffic through this area towards Shottery and the Alcester Road.

2.2 Landscape

This area is generally flat, at a height of some 36m OD. It is north of the Avon and out of the immediate floodplain. As the built-up area ends at the west side of the study area, there is a steep rise to Bordon Hill (91m).

In terms of landscape type, this area before urbanisation fell within the 'vale orchard belt' as defined by the town's urban edge study.¹ The entire area lies on river terrace gravels.²

2.3 General character and plan form summary

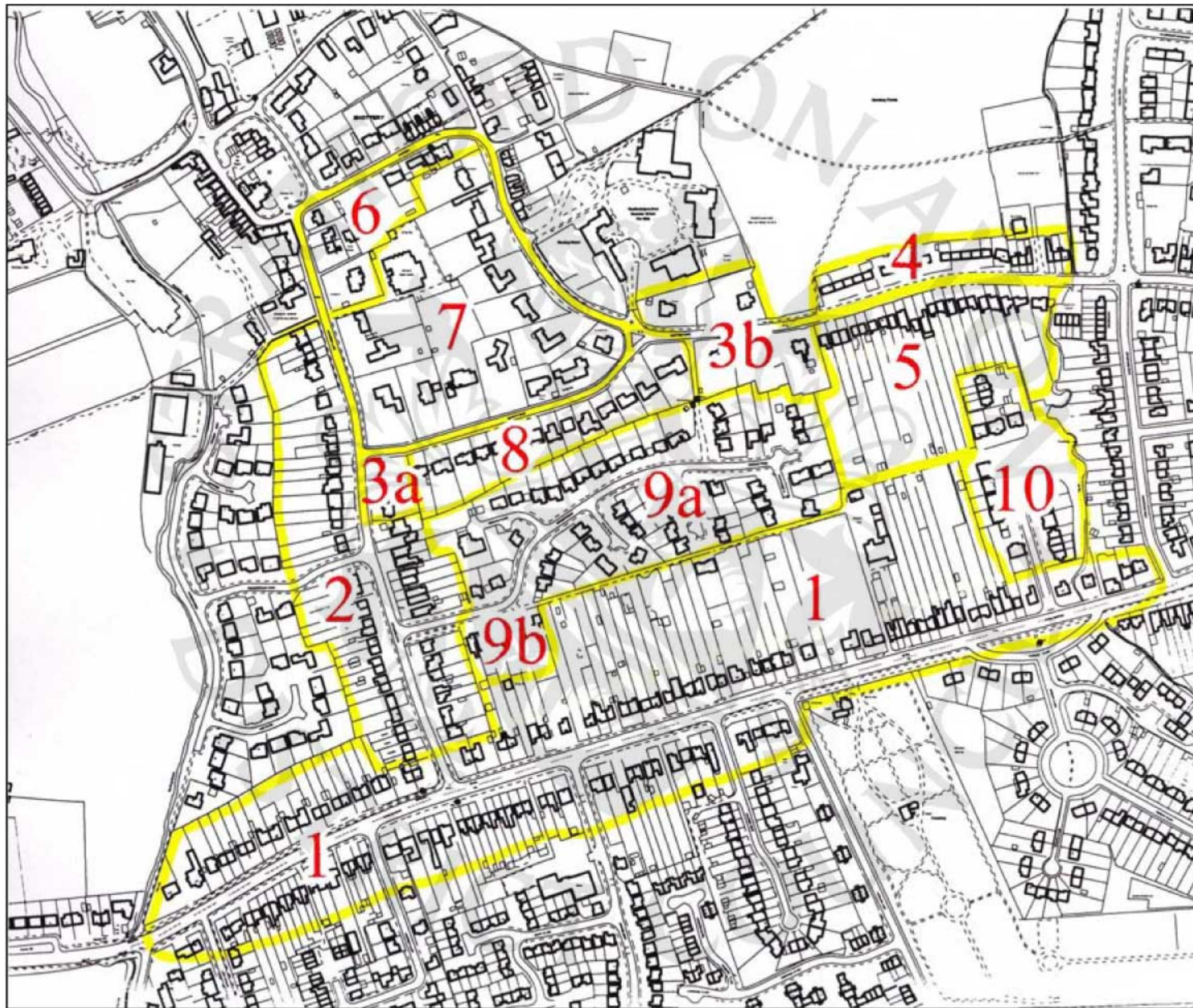
This is a complex area within which a number of sub-areas can be distinguished principally on the basis of architectural and plan form.

In detail, there seems no historical or structural reason why the two buildings east of 192 Evesham Road (itself apparently the first building along this road) should be included in the area and they are not considered further.

- Area 1: the buildings fronting Evesham Road including north side as far as Shottery Brook, and south side from the cemetery. Some of those on the north side have particularly lengthy plots.
- Area 2: the buildings fronting Hathaway Lane (west side; and east side as far as area 3a).
- Area 3: this comprises two distinctive small groups of large inter-war neo-Tudor houses; two on Hathaway Lane (Area 3a) and five on Shottery Road (3b).
- Area 4: inter-war buildings north of the eastern part of Shottery Road, including three rows of vernacular terraces (note: this area is outside the area originally demarcated for examination).
- Area 5: inter-war houses on lengthy plots on the south side of Shottery Road.
- Area 6: a small area of very mixed buildings principally fronting Shottery Square.
- Area 7: an area dominated by post-war development, principally large bungalows in extensive plots.
- Area 8: inter- and post-war housing along the south side of Quiney's Road.
- Area 9: a speculative post-war development on the site of allotments (Area 9a). To the south-west of this area, accessed from its cul-de-sac, is a small group of very recent houses built on the plot tails of Area 1: this forms Area 9b.
- Area 10: a new development inserted on several plot tails from Areas 1 and 5.

¹ Warwickshire County Council (2004) *Stratford town's urban edge: a pilot study*.

² Geological Survey sheet 200, 1974.



Map 2: General character

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2.4 Landmarks/views

Within the area, from the Evesham Road and from Hathaway Lane looking west there are views of Bordon Hill. Likewise there are views from the hill looking back across this suburban area: there is a public footpath leading from Hathaway Lane towards the hill but not to its peak. Views east into the area from the Evesham Road at the shoulder of Bordon Hill are indistinct owing to the bend in the road at the westward edge of this area.

From the Evesham Road itself there are numerous views between houses, and across several vacant plots, indicating extensive open garden spaces behind the houses fronting the north side of the road. There are also views across the cemetery south of the road.

Travelling west along Shottery Road there is a good view of the row of vernacular inter-war cottages as the road curves; and views north across the playing fields.

There are few landmarks within the area itself. However, on moving along Evesham Road from the west, the large semi-detached inter-war pair of houses on the junction with Hathaway Lane stand out because of their size and prominence at a point where the main road curves slightly south, and because of a tree in their garden; likewise from the east, the house 'Longcot' is very noticeable as it stands significantly further forward on its plot than any other house north of the road.

3 Historical development: overview

Shottery Manor was owned by Evesham Abbey until the fourteenth century. Originally a farm building, it was converted to a house, owned by the Harewell family between 1402 and 1746. It is now the Grammar School. Shottery also has other examples of farm buildings that have been converted to other, principally residential, uses. "By the seventeenth century the pattern of scattered rural development was in place, with the network of paths and roads linking the clusters of cottages and farmhouses".³

The area studied was developed principally during the inter-war period; significantly at a time when the railway connection north to Birmingham was popular. Earlier railway connections led into the station from the south-east and south-west; these are now disused and were never very successful as freight or passenger lines.⁴ However the existence of the Evesham line may have constrained plots and development south of Evesham Road; and anecdotal evidence from a local resident suggests that some of the land in Shottery Road was owned by the railway company, and some of the houses built c. 1926 for railway workers. There are some earlier properties on the edge of Shottery square (in Area 6), although development south was very limited until the 1960s/1970s.

3.1 Details of the study area, using historical maps



Map 3: Ordnance Survey 1889

³ Stratford-on-Avon District Council (1992) *Shottery conservation area*

⁴ Dunn, J.M. (1977) *The Stratford on Avon and Midland Junction Railway* Oakwood Library of Railway History vol. 10, Oakwood, Tarrant Hinton.

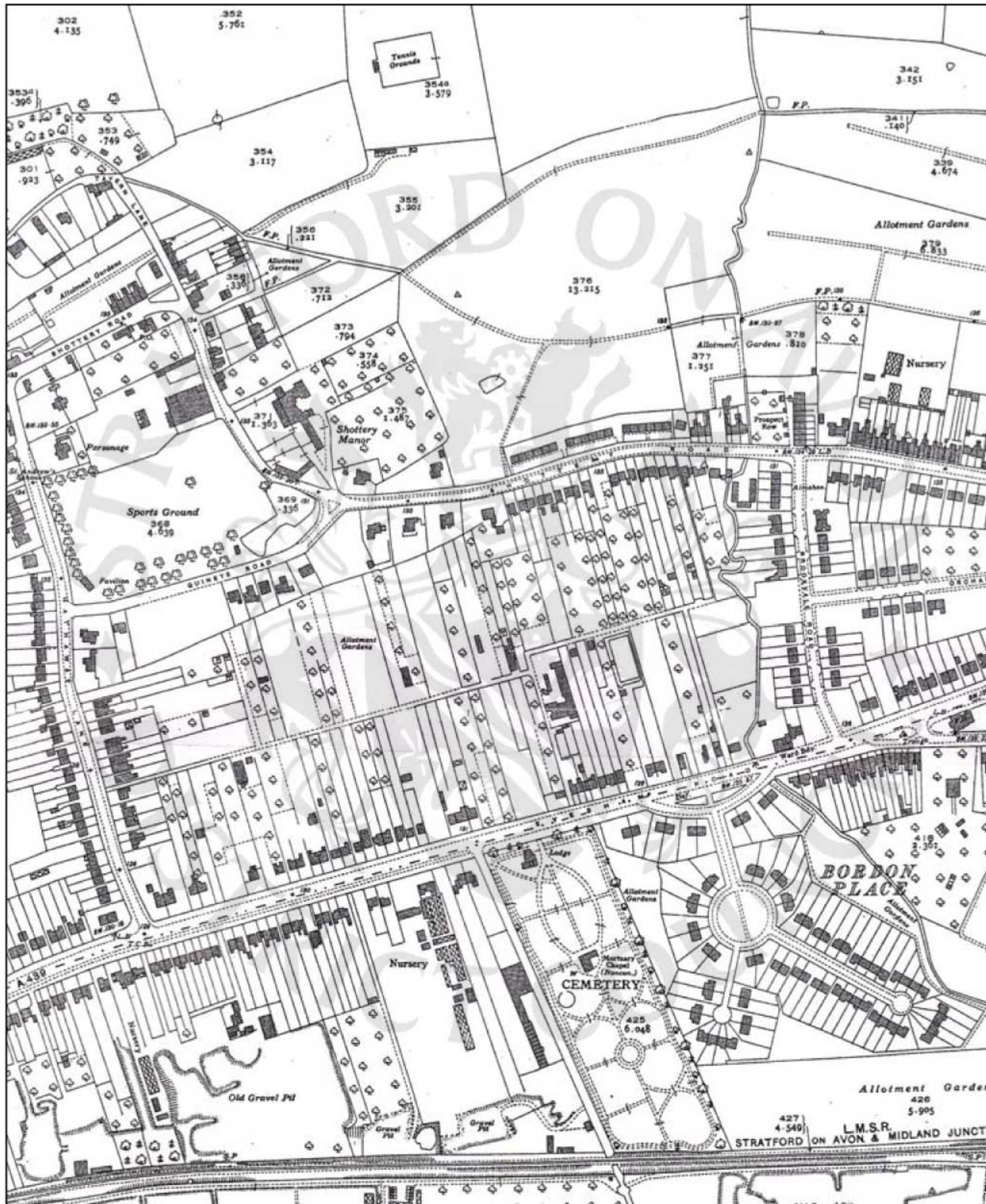
The 1889 OS 25" sheet shows two large, open fields between the brook and Hathaway Lane, and limited development in Shottery extending eastwards to Manor Farm. The Cemetery has been laid out south of Evesham Road; the Lodge was built in 1881 by the local builder John Harris & Son.⁵ The cemetery, therefore, represents a very significant and pre-urban landscape feature.



Map 4: Ordnance Survey 1914

The 1914 OS 25" sheet shows little change. The single house 'Longcot' has been built on Evesham Road immediately east of the brook. The Shottery Parsonage exists, as do several small buildings facing north on to Shottery Road at what is now the Square.

⁵ Douglas, A. (1993) *Memories of Stratford-upon-Avon* Brewin, Studley, illustrated on p. 45 under construction.

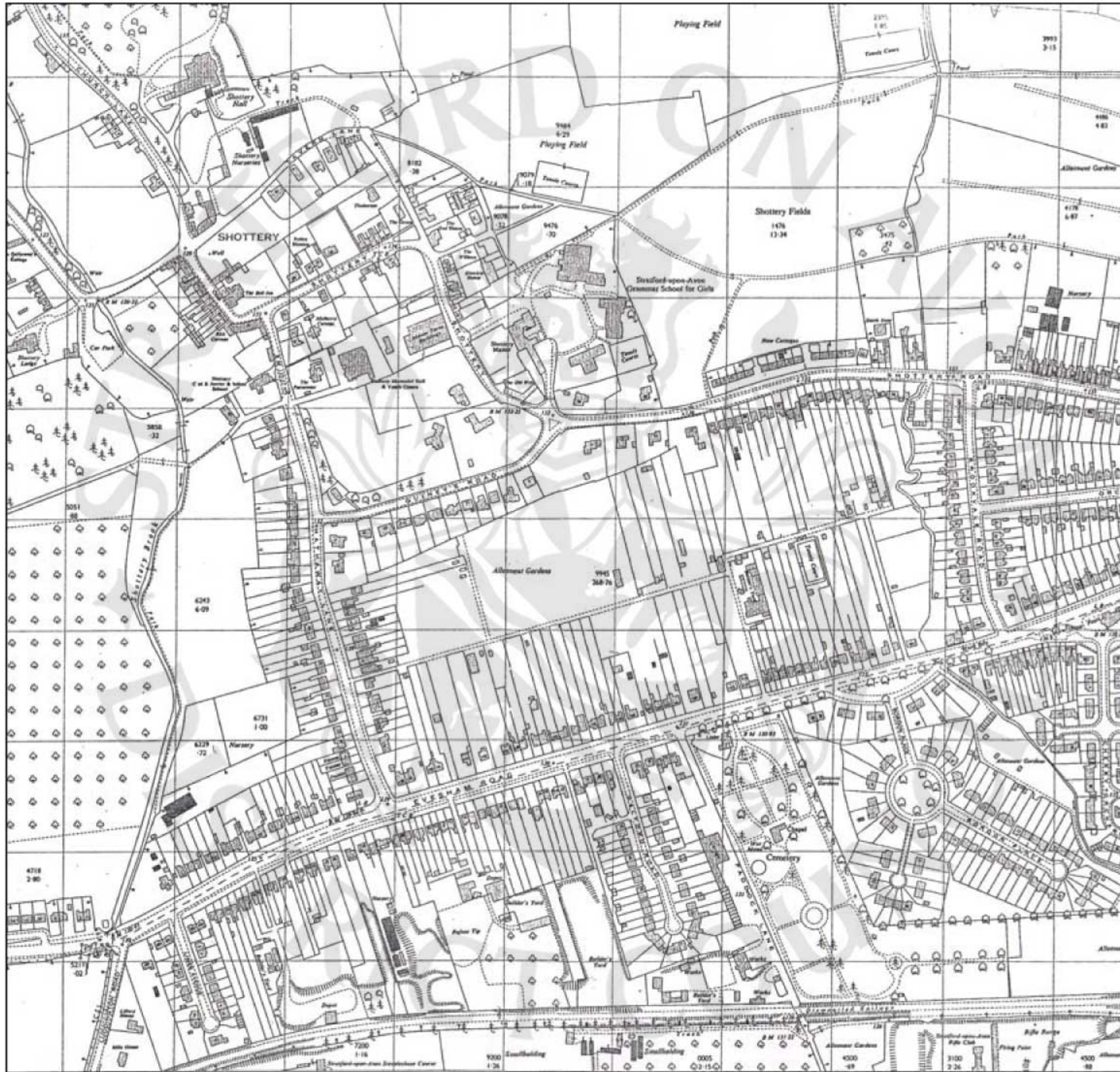


Map 5: Ordnance Survey inter-war

The inter-war OS 25" sheet shows that, south of Evesham Road, the municipal estate of Bordon Place has been built, and a plot series laid out west of the cemetery. Part of this forms a large nursery; and the plots are curtailed by a series of gravel pits and orchards north of the railway line. Some of these plots have rear accesses to a series of minor alleyways leading on to Evesham Road. It thus appears that this part of the development has always had irregular plot lengths, lacking the regularity and uniformity of the area immediately north of the road.

The fields north of Evesham Road have been largely subdivided into a series of regular-length plots, the majority of which have had houses built. Some plots are shown as part orchard. There is a uniform rear access lane, and the plot series north of this – marked as Allotment gardens but showing the symbol for orchards – has no road access as there is another plot series, partly built up, fronting the new Quineys Road. The plots on the south side of the east part of Shoterley Road are laid out and built up in similar fashion to the Evesham Road. North of them are three terraces, with no individual plots shown. North of Quineys Road is a

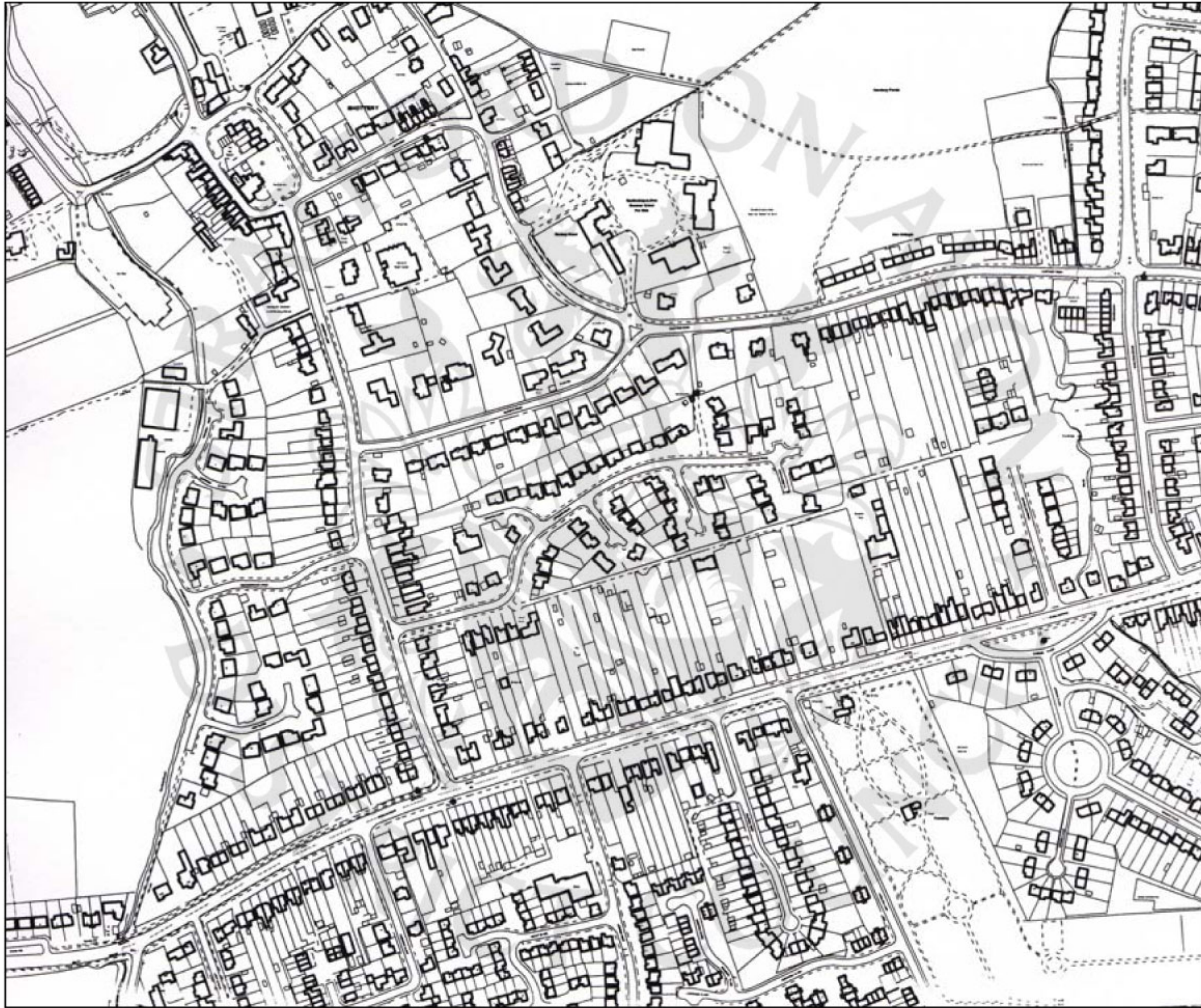
sports ground. Hathaway Lane has a regular plot series, with houses, along its west and south-east sides.



Map 6: Ordnance Survey 1965

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The 1965 OS 25" sheet shows that little has changed south of Evesham Road except for the insertion of Halford Road on the original nursery, and Limes Avenue at the western end (at the Luddington Road junction). Build-up of the plots on the north side of Evesham Road is complete except for one vacant plot; although some plots are double width and others have amalgamated plot tails. Most boundaries previously shown on the allotment gardens have now gone. The south side of Quineys Road is now built up, and the sports ground to its north is being subdivided for development.



Map 7: Contemporary GIS

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The contemporary map shows the insertion of several new estates based on the cul-de-sac form, most notably on the allotments, between Hathaway Lane and the Shottery Brook, and on the remaining large spaces behind the plots south of Evesham Road. Several new roads have been broken through to allow access on to Evesham Road.

4 Spatial analysis

This is a roughly triangular area formed by the Evesham Road as the major traffic spine, although only a B road; the Shottery Road and Hathaway Lane. There are several large and small residential culs-de-sac developed off these roads; and Shottery Road and Hathaway Lane are linked by Quiney's Road, a very minor road with a quasi-rural character.

There are a few public footpath routes, of which that at the plot tails of Area 1 is most significant, as it connects Hathaway Lane with Area 10. There is an extremely narrow and unwelcoming path between Area 10 and Shottery Road; and another, unusually broad, between Shottery Road and Area 9a.

4.1 Character and inter-relationship of spaces



Map 8: Open spaces

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There is very little open space within this area itself; although Bordon Hill to the west, the playing fields to the north and the cemetery to the south all form important visible and accessible spaces.

The treed crescent fronting Bordon Place, and the continuation of those trees along the cemetery frontage, are very significant along Evesham Road; and the brief glimpse of the circle within Bordon Place itself is also significant.

The new development off Evesham Road at the eastern end of the area has within it an area of open space, with some retained poplars. However, at present these are merely underplanted with grass; and the houses relate poorly to this space, which runs alongside the brook behind the garden fences of the easternmost houses. The location, maintenance and use of this space do not appear to have been thought through.

The most significant spaces within this area are several series of extensive garden plots. Those of the bungalows in Area 7 are important to establishing the green and low-density character of the northern part of this area. Most significantly, those of Areas 1 and 5 are partly visible through gaps between houses from the Evesham Road, and present an open low-density aspect; and are publicly accessible through the footpath running along the plot tails. The character of these plot tails is extremely mixed, ranging from neglected and overgrown with

some tipping, to well-maintained fruit and vegetable gardens. Even so they represent a very valuable open space resource, a contribution to local wildlife diversity, and probably the most characterful and varied area within this district.

4.2 Movement patterns/uses

The County Council's traffic counts in September 2004 along the Evesham Road record a 24-hour weekly average of 10,337 vehicles, an annual morning peak of 1,014 vehicles per hour and annual evening peak of 1,006 vehicles per hour.

Observation suggests that there is substantial traffic movement throughout the day on Hathaway Lane, a cut through to the Alcester Road and thence via the A46T to the M40, or the A3400 towards Birmingham. There is likewise substantial traffic along Shottery Road from the town centre. On both of these roads there is roadside parking, associated in part with the schools, causing a hazard with the fast-moving traffic.

Some of this traffic will eventually be diverted if the proposed Shottery by-pass is constructed.

5 Built character analysis

5.1 Plot patterns

Owing to particular concerns expressed for the main approach roads to the town, detailed plot analyses have been carried out for the plot series north of the Evesham Road.

Area 1

North side

This is an extremely varied area owing to the amount of plot amalgamation and truncation that has already occurred within an area originally laid out with very even plot boundaries.

	Plot length (m)*	Plot width (m)**	Plot area (m ²)
Average	89.94	10.52	983.6
Maximum	130.25	19.4	5005.53
Minimum	31.6	5.05	316.46

* measured along the western plot boundary

** measured along the street frontage

5.2 Building patterns

Area 1

North side

	Building setback (m)*	Building footprint (m)**	% of plot built over
Average	9.85	106.38	12.65
Maximum	55.06†	593.91	29.6
Minimum	0.7‡	0§	0§

- * measured perpendicularly from the front of plot to the nearest part of the building
- ** includes all mapped extensions, outbuildings etc.
- † This building is a sizeable electricity sub-station positioned well back on its plot.
- ‡ This is no. 192, significantly earlier than the remaining buildings.
- § This is a vacant plot.

This north side, from Hathaway Lane to the eastern stream boundary, is characterised by very irregular spacing between buildings including a small number of undeveloped plots. These permit glimpses into the large, open plot tails. This is a significant characteristic of this area.

5.3 Architectural and/or historical qualities of buildings

There is a small number of older, mostly late-Victorian, properties. Again these are typical of the period and are unremarkable.

The bulk of this area is of inter-war speculative development comprising a mixture of detached and semi-detached, bungalows and two-storey houses, typical of the period and individually of little architectural significance. They employ details found in other areas, including frequent use of brick ground floors and rendered – almost always painted – upper floors. A small number of these house are dated – all to before 1930.

The three rows of inter-war vernacular cottage-style terraces on Shottery Road are unusual in this area (Plate 2). There appear to be stylistic links with the Garden City movement and the working-class housing designed by the London County Council.

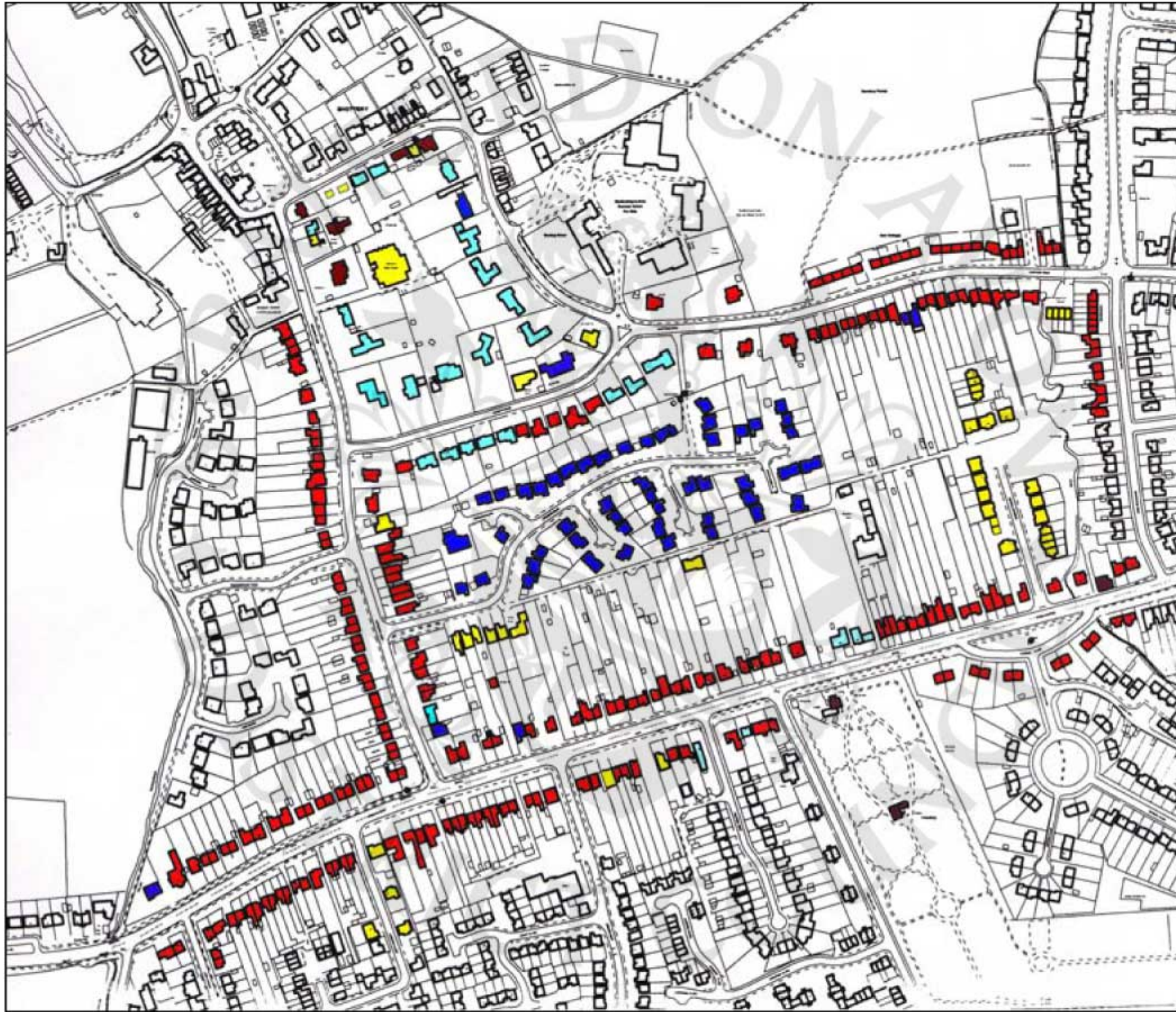
The larger inter-war neo-Tudor houses forming areas 3a and 3b are good examples of this type (Plate 3).

The large post-war bungalows of Area 7 are typical of the period, but stand on substantial plots with mature planting. The large estate of post-war houses (Area 9a) is again typical speculative development, unremarkable, but now with mature garden planting.



Plates 2 and 3: Inter-war vernacular and neo-Tudor

A number of properties of all periods have extensions, most of which have been well designed in sympathy with the original building.

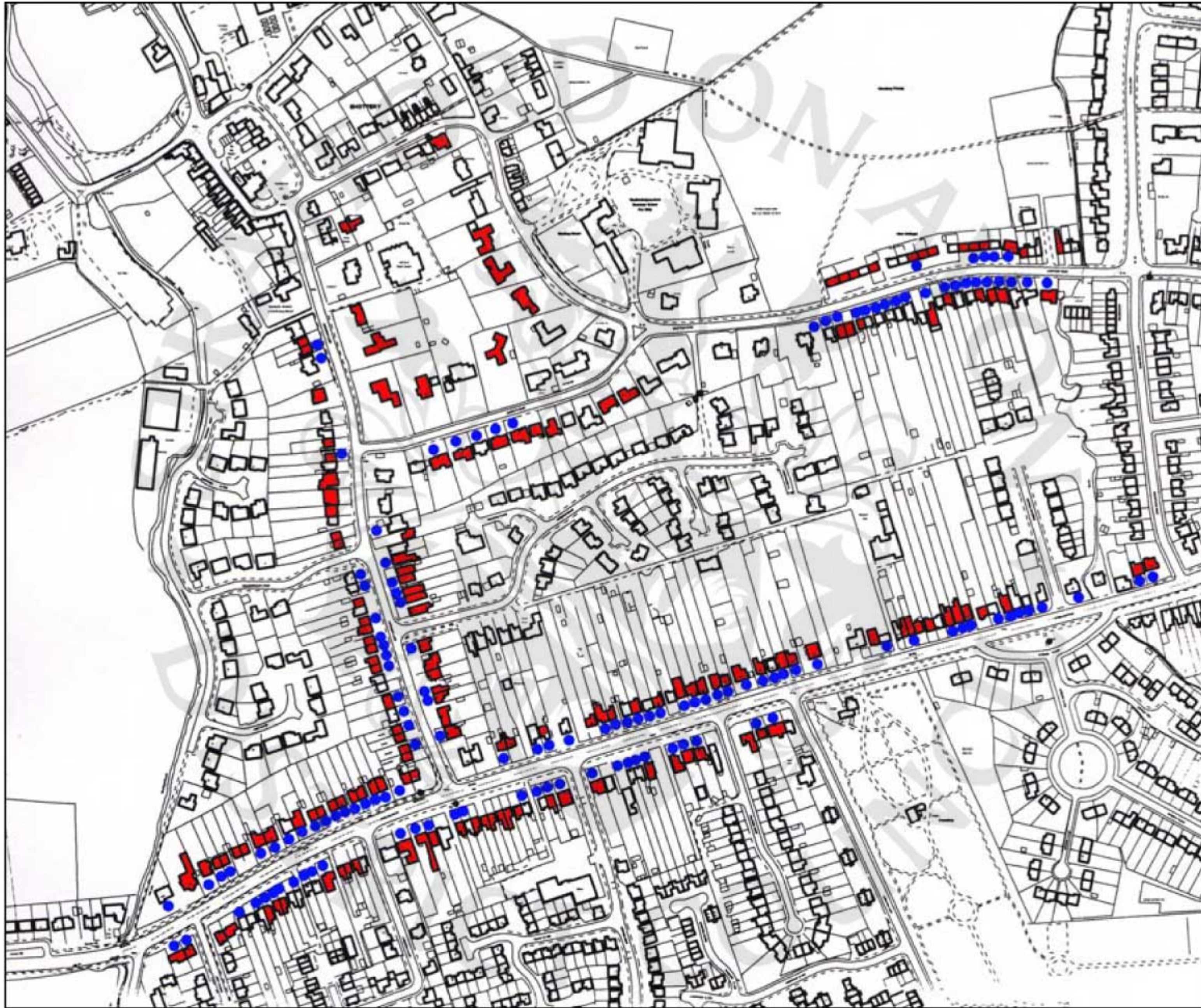


Map 9: Building periods

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- Early-mid Victorian
- Late-Victorian - Edwardian
- Inter-war
- Early post-war c. 1955-1970
- Middle post-war c. 1970-1990
- Recent, post-1990

The location of very recent buildings, as backland infill cul-de-sac developments, is plain.



Map 10: Front garden conversions and replacement windows

(Recent buildings have not been studied in this analysis)

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The a majority of these buildings have had original timber windows replaced by aluminium or uPVC (red on the above map; the most recent infill estates have not been surveyed in these respects). Some have been done reasonably well; others have replaced small panes with large plate glass and wide uPVC frames. Several commercial properties (B&B) to the south-west of Evesham Road have been unsympathetically extended on several occasions and are now of incoherent form and out of scale with their surroundings, with particularly high plot coverage.

Car parking is an evident problem in this area. Blue dots on the above map indicate conversions of parts or all of front gardens to vehicle parking, often with the loss of much or all of the front garden enclosure. Not all of these conversions have a dropped kerb access to the road; some vehicles drive across verges.

A small number of buildings remain in good near-original condition. The semi-detached pair at the junction of Hathaway Lane, and the seven neo-Tudor houses of Areas 3a and 3b, are notable.

5.4 Predominant local/traditional building materials

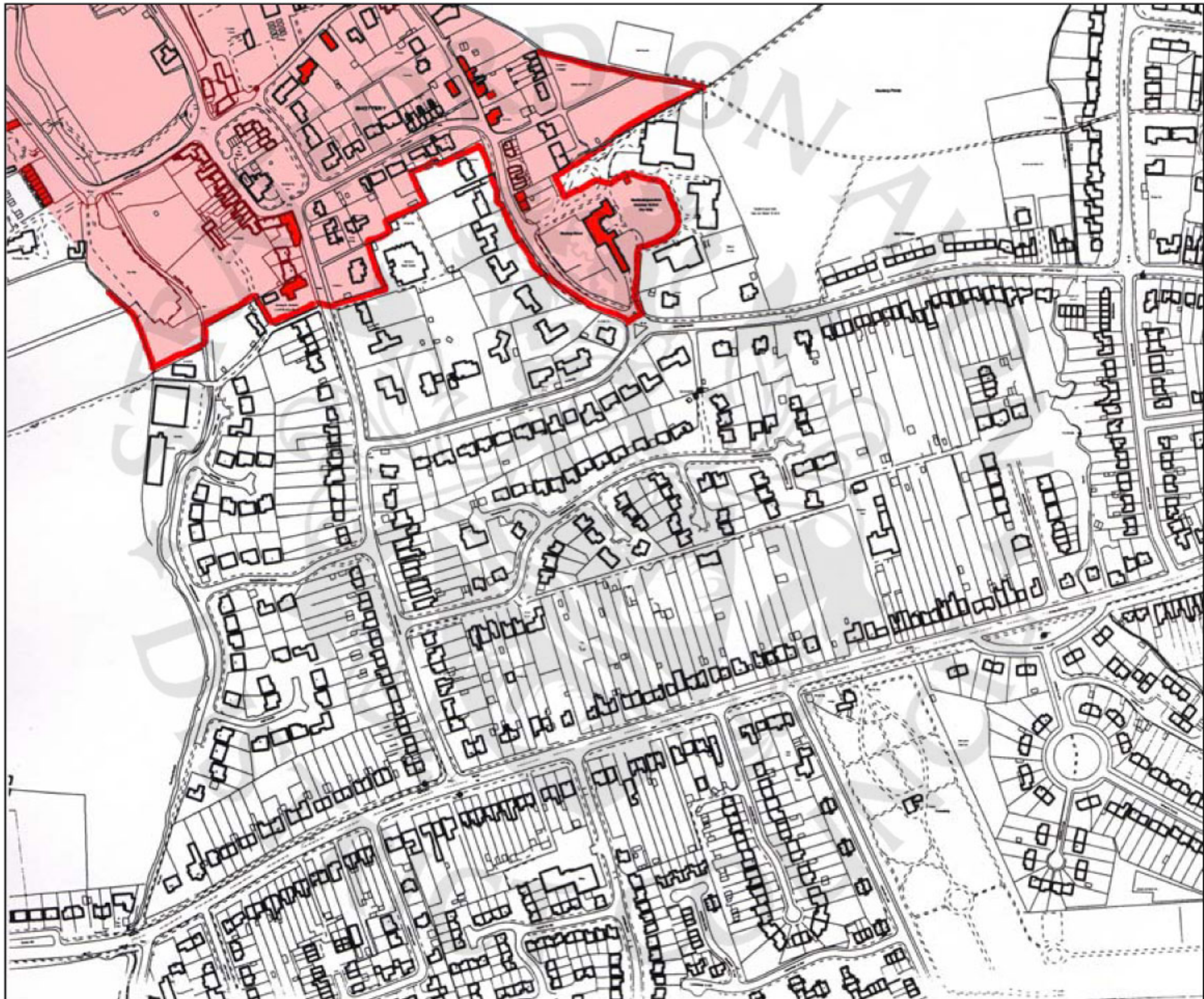
Predominant materials are brick (usually an orange/red colour; sometimes pale beige in the inter-war and early post-war periods) especially on ground floors, and upper floors are typically rendered or pebble-dashed, often painted in a pale colour. Vestiges of neo-Tudor timber 'framing' is quite common; this is probably structural on the houses of Areas 3a and 3b. Roofs are usually red or brown tiles,

occasionally pantiles. Some brown tiles are merely weathered reds. Slate is rare. Some tiles have been replaced by inappropriate concrete tiles.

5.5 Audit of heritage assets

Archaeologically, there is evidence for a deserted (or shrunken) medieval settlement at Shottery covering a broad area south and south-east of the church. At least one Mesolithic artifact has also been found here. A rifle butts used by the Stratford Volunteer Rifle Corps also existed south of Shottery. South of Evesham Road, the cemetery is also accorded mention as retaining much of its nineteenth-century character.⁶

Area 6 is contained within the existing Shottery conservation area (shaded pink) designated in 1992. Listed buildings within the conservation area are shaded red.



Map 11: Existing conservation area and Listed buildings

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There are no listed buildings within the area studied, although the neo-Tudor houses of Areas 3a and 3b, and the vernacular terraces of Area 4, might be candidates for consideration.

There are some traditional pieces of street furniture remaining, including a GR letter-box in a brick pillar on Evesham Road.

⁶ Warwickshire County Council, Sites and Monuments Record.

5.6 Contribution of key unlisted buildings

The larger neo-Tudor houses (Area 3) are visibly distinctive and of higher quality than the remaining inter-war property. The vernacular cottages (Area 4) are unusual and provide a striking view from Shottery Road.

5.7 Public realm audit

Pavements and road surfaces are in tarmac of varying qualities. Kerbs are standardised concrete. Gutters are poorly maintained and many (most notably in Quineys Road) contain substantial grass clumps. Street furniture is standardised and includes green-painted cable boxes which, although set at the rear edge of pavements, still afford targets for some graffiti.

There are recent prominent road markings on Evesham Road, and visually intrusive pedestrian crossings.

There are some grass verges, although on the north side of Evesham Road the verge is very narrow and makes little impact. Grassed verges on Shottery Road from the playing fields westwards are more significant owing to the lack of made-up footpaths on both sides of the road. Likewise on Quineys Road the kerb and footpath is only on the south side. These features do contribute to a less formal, less standardised suburban character.

6 Other contributing factors

6.1 Land uses

The great majority of the area is in residential use. The rare exceptions include a shop and stonemasons, and some bed-and-breakfast accommodation, all fronting Evesham Road; and the school and parish hall on Hathaway Lane. Both of the latter give rise to traffic movements and on-street parking. One of the properties in Area 3b is also in (partial) use for professional consulting rooms.

The varied uses of the lengthy plot tails in Areas 1 and 5 are worthy of note. These range from dereliction and dumping to fruit and vegetable growing, and garden and family recreation. Chickens are kept on at least one plot. This is an extremely varied range of land uses, together forming a distinctive character.

One further non-residential use located on several of these plot tails is the builder's yard (Area 1, north). This is a long-established use dating to the suburban development in the inter-war period. Despite several sheds and dumps of material, from observation this does not seem a particularly intrusive use, although it does generate vehicle movement along its narrow access from Evesham Road.

6.2 Senses: sights, sounds, smells

There are generally no sensory issues atypical of suburbia. The school and probably the parish hall create some characteristic noise at particular times.

6.3 Vegetation

The most significant vegetation is the line of mature trees fronting the cemetery and Bordon Place, south of Evesham Road. In the newly-developed Area 10 there

is a grassed area containing several mature poplars, and the trees lining the brook form a significant green barrier. The pair of large semi-detached inter-war houses on the junction with Hathaway Lane have a rare mature tree in their garden, which is significant because of its location terminating a view from the west as the road curves gently.

7 Appraisal

7.1 Development pressure analysis

There is recent infill development in the plot tails of Areas 1 and 5, but considerably more pressure for this type of development (Appendix). The refusal rate is higher than average. These areas are clearly under some pressure.

7.2 Key positive features/areas

The larger neo-Tudor houses of Areas 3a and 3b, and the rows of vernacular cottages of Area 4, are small-scale but cohesive positive features.

The early inter-war semi-detached pair on the eastern side of the junction of Evesham Road and Hathaway Lane are significant: they are of slightly larger scale than most along Evesham Road; they have a substantial tree in the front garden; and they are situated on a slight road bend.

The first suburban building in the area, the house originally called 'Longcot', remains as a noticeable landmark set well forward on its plot, particularly visible when travelling from the town.

7.3 Neutral areas

The bulk of the frontages of Evesham Road can be characterised as neutral. The retention of so many original buildings is a positive feature. But its significant variety in original building form, and particularly the scale of window replacements and front-garden conversions which detract from the area's original character and appearance, are negative features; hence the overall judgement is neutral.

Much of the post-war developments (Areas 7, 8 and 9a) are neutral. Although destroying originally open areas, their gardens have now matured, softening the originally harsh built form.

7.4 Negative features/areas (loss, damage, intrusion)

Areas 9b and 10, particularly the latter, are recent infill developments and, as such, inevitably destroy the character and appearance of the original extensive open plots, themselves physical evidence of the area's original layout.

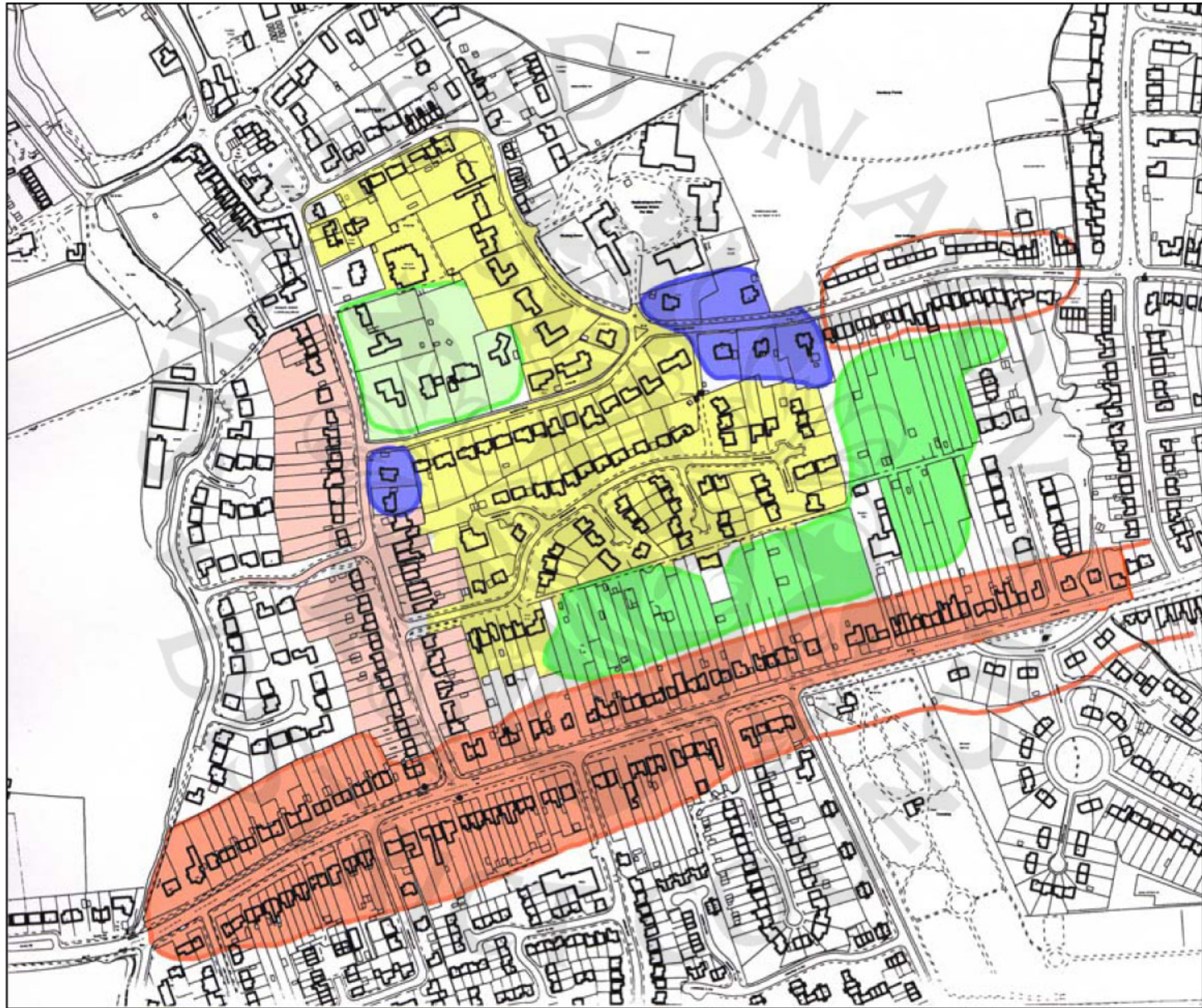
Similarly there are backland infill estates to the south of Evesham Road that have had the same effect, but with less impact owing to the already fragmented nature of original plots.

The recent road surface markings on Evesham Road, and the new pedestrian crossings, are visually intrusive (although the latter at least are made necessary by the volume of traffic).

The extent of through traffic along Hathaway Lane and Shottery Road is intrusive, although some of this is likely to be displaced if the proposed Shottery Bypass is completed. The extent of on-street car parking on both roads is also visually intrusive to some extent but, allied to the volume of traffic, can constitute a danger; particularly outside the school.

7.5 Character zones

Character zones have been identified, based largely on the plan form and architectural characteristics of the area. Map 12 highlights the key areas and features discussed below.



Map 12: Character zones

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The darker and paler pink areas are the main inter-war road frontages. That of Hathaway Lane (paler pink) is more cohesive; that of Evesham Road (darker pink) is more varied and has suffered more damage from infill and redevelopment. The continuing red line across the cemetery and Bordon Place indicates that the entire road frontage of Evesham Road should be considered in policy development.

Neutral areas are indicated in yellow. Towards Shottery this excludes the Parsonage and an older cottage (two older cottages north of the Parsonage are included as 'neutral' owing to extensive alterations); it also excludes the area shaded pale green. This comprises the earlier bungalows in more extensive grounds. While not individually special, their low density is a characteristic of post-war bungalow development.

The high-quality Neo-Tudor houses of Areas 3a and 3b are emphasised in blue.

The part of Shottery Road outlined in red is a complex area. To the south and north-east its largely inter-war houses are not of high status but remain in relatively good condition, while the rows of vernacular cottages to the north have been identified as having some architectural and townscape significance.

7.6 Areas under existing or potential threat

The 'backland' areas of long plot tails on both sides of Evesham Road, and the few remaining undeveloped plots to the north, are under explicit threat: the main such areas are shown above in dark green. Estate infill has occurred on the south side and at the north-eastern edge of the study area, while there are some individual infill buildings to the north-west. This threat is increased by the identification of this northern area for residential development in the Local Plan.

The size of plots in Area 7 would also appear to make them vulnerable to infill proposals. Such development would, however, remove the characteristic features of this area.

8 Discussion of special characteristics

The Neo-Tudor houses of Areas 3a and 3b are certainly of some architectural and townscape interest, as are the vernacular cottages of Area 4.

The low densities of Areas 1, 5 and 7 (and most particularly the vulnerable area shaded dark green above, and the earlier post-war bungalows shaded pale green) are also special. Such low development densities could not be contemplated in contemporary suburban development, and so these represent a rare and declining resource in terms of housing choice; they also clearly demonstrate the process of original suburban layout in this area.

None of the other identified areas have architectural or historical features of special interest.

9 Recommendation on designation

No new conservation area designation can be recommended on the basis of the examination of special architectural or historic interest. Following the legal definition of a conservation area, and mindful of precedents elsewhere, there is insufficient here of "special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance".⁷

The Neo-Tudor houses of Area 3b could be protected by a simple extension of the boundary of the existing Shottery conservation area. Protection of these houses parallels the Castlecroft Gardens development in Wolverhampton, now a conservation area, of similar inter-war largely neo-Tudor houses. Those of Area 3a are, however, too far from the existing designated area for this simple expedient.

During consultation, residents suggested a substantially larger conservation area extending to the rear of the plots south of Quineys Road. The reason for this was

⁷ 1990 Planning (Listed Buildings and Conservation Areas) Act.

to act as a 'buffer' to the existing Shottery conservation area. Our investigation has been restricted to the area specified on Map 1, with a brief to review its character. We have not considered whether the existing conservation area requires such a buffer, and accordingly cannot support this suggestion. However, in the light of this suggestion and the potential impact of the proposed bypass and associated development, we do recommend that the Schottery conservation area be reassessed.

The municipal estate of Bordon Place, south of Evesham Road, demonstrates a considerable unity of architectural and plan form. It would be worth a more detailed investigation to determine whether this estate is worthy of designation or other specific policy development. Local authority-developed housing is under-represented in conservation area designations.

The rather disparate nature of the easternmost part of Shottery Road (outlined in red on the above map) does not readily lend itself to conservation area status. To afford some protection to the vernacular cottages they could be considered for designation as an "Area of townscape interest".

10 Existing policy

Guidance in the Local Plan, the Town Design Statement, and the District Design Guidance, applies.

A proposal in the *current* adopted Local Plan identifies an area of backland behind the East end of Evesham Road as being allocated for residential use. Part of this appears to have resulted in the newly-built infill estate.

On the 2003 Revised Deposit Draft this allocation is repeated and extended along the rear plots of most of Evesham Road (2.9ha), allocated for "residential development (including a proportion of affordable units)" (proposal SUA.S). "This site consists mainly of a large number of extensive rear gardens and associated domestic uses, together with two businesses. It is therefore in multiple ownership and requires a comprehensive approach to land assembly and promotion ..." (suggested policy issues also given, p. 100). This was supported by the Inspector following the Local Plan Inquiry in 2004 and the allocation remains in the Local Plan Review.

Local Plan Review Policy SUA.13 limits the conversion of residential properties to guest houses and other forms of visitor accommodation along both sides of this part of Evesham Road.

11 Policy and management suggestions

A small amount of individually small-scale development could be accommodated, at the scale of individual houses located on the tails of the original plots, as has already occurred to produce Area 9b.

11.1 Area 1

The Evesham Road frontage (shown in darker pink on the character map) is of very varied character. Further conversions of front gardens for car parking should retain as much of the existing front garden enclosures as possible. Roof conversions should have flat rooflights or appropriately-designed dormers on the front elevation. The glimpses into rear gardens on the north side are

characteristic along this part of the street, even from moving vehicles, and thus side extensions should not close such views. 'Terracisation' should be strongly discouraged, and where extensions are proposed they should be in scale and subservient to the original dwelling and set back from the building line. Individual properties could be replaced with new development of appropriate scale and form, and ideally employing the dominant local materials of rendered upper floor and brick ground floor. The few undeveloped plots could have individual developments at the street frontage, provided that any such buildings did not fill the full width of the plot.

11.2 Areas 2 and 5

The inter-war development of Hathaway Lane and Shottery Road (south-east side) is similar to that of Evesham Road. Here, too, further conversions of front gardens for car parking should retain as much of the existing front garden enclosures as possible. Roof conversions should have flat rooflights or appropriately-designed dormers on the front elevation. 'Terracisation' should be strongly discouraged. Individual properties (or pairs of semis) could be replaced with new development of appropriate scale and form, and ideally employing the dominant local materials of rendered upper floor and brick ground floor.

11.3 Areas 3a and 3b

The character of these substantial Neo-Tudor properties should be retained, and should be reflected in the design of any further extensions. Although not necessarily dependent on planning permission standardised attached conservatories are likely to be incongruous, and consideration should be given to styles more in keeping with the area. Modern materials such as uPVC, and intrusive materials such as exposed brick and concrete, should be avoided. Extensive surface car-parking using standardised materials should be avoided.

11.4 Area 4

The parking of vehicles on front gardens should be discouraged. If this is necessary some form of concrete hardstanding that allows grass to grow through may be desirable. The design and materials of any new windows, particularly in the front elevation, should be carefully considered. Roof dormers are undesirable on the front elevations.

11.5 Areas 6 and 7

Some recent infill development has already occurred in these areas, that in Area 6 using a form of vernacular in an attempt to blend with the Shottery conservation area. Any proposals for the Parsonage will require careful consideration as this large building is of some local townscape significance. The further subdivision of some of the extensive bungalow plots (pale green on the character map) would significantly affect the area's open character; although replacement of individual buildings would be acceptable.

11.6 Area 8

The south side of Quineys Road comprises a mixture of inter- and post-war detached houses. Individual replacements would be acceptable, including replacing bungalows as two-storey houses. Plot amalgamations and larger blocks would, however, damage the informal character of this road. Likewise the 'formalising' of the north side with kerbs and pavement should be resisted.

11.7 Areas 9 and 10

These are new infill developments requiring the exercise of normal development control measures. The gardens of Area 9a have matured; Area 10 (and indeed other very recent culs-de-sac south-west of Evesham Road) will also mellow with age, weathering and the maturing of planting. Area 10 in particular, though, will benefit from some coherent landscaping applied to the open grass immediately west of the stream. The narrow and intimidating pedestrian route through to Shottery Road would also benefit from improvement.

APPENDIX: Selected development control information 1990-2004

Date	Address	Type	Decision
1993	adjoining 34 Halford Road	house	permitted
1994	2A Quineys Road	dwelling	withdrawn
1995	r/o152 Evesham Road	residential development	refused
1995	r/o 82 Evesham Road	bungalow	refused
1998	60 Evesham Road	bungalow	refused
1998	adjoining 116 Evesham Road	house	permitted
1998	r/o 61 Evesham Road	dwelling	refused
1999	r/o 145 Evesham Road	Residential development (outline)	permitted
1999	adjoining 34 Halford Road	house, renew 1993 permission	permitted
2000	19 Shottery (post office)	dwelling	permitted
2000	19 Shottery (post office)	part demolish garage; new dwelling	permitted
2000	r/o 145 Evesham Road	Residential development, reserved matters	approved
2000	r/o 145 Evesham Road	2 dwellings	withdrawn
2000	r/o 145 Evesham Road	1 dwelling	
2001	r/o 91 Evesham Road	house	invalid
2001	r/o almshouses, Shottery Rd	4 dwellings	permitted
2001	91 Evesham Road	house	refused
2002	27 Shottery	demolish; 3 cottages	withdrawn
2002	8 Evans Close & adjoining	demolish; 15 dwellings	refused
2002	63-66 Evesham Road	demolish; 9 dwellings	refused
2003	63-66 Evesham Road	demolish; 9 dwellings	permitted
2003	27 Shottery	demolish; 2 cottages	permitted
2003	r/o 68 Evesham Road	dwelling	permitted
2003	r/o 68 Evesham Road	2 dwellings	refused
2003	off Mulberry Gardens, Evesham Road	27 dwellings	withdrawn
2004	r/o 71 Evesham Road	dwelling	refused
2004	adjoining 34 Halford Road	house, renew 1993/99 permission	permitted
2004	plot C, 27 Shottery	dwelling	withdrawn
2004	54 Hathaway Lane	demolish garage; dwelling	withdrawn